


COMHAIRLE CONTAE CHILL Mhantáin
Wicklow County Council

Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development

Áras An Chontae / County Buildings
Cill Mhantáin / Wicklow
Guthán / Tel: (0404) 20148
Faics / Fax: (0404) 69462
Rphost / Email: plandev@wicklowcoco.ie
Suíomh / Website: www.wicklow.ie


January 2025

Mahoney Architecture
21 Denzille Lane
Dublin 2
C02 EY19

RE: Declaration in accordance with Section 5 of the Planning & Development Acts
2000 (As Amended) – EX113/2024 – Carnew National School

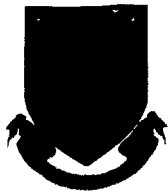
I enclose herewith Declaration in accordance with Article 5 (2) (A) of the Planning & Development Act 2000.

Where a Declaration is used under this Section any person issued with a Declaration under subsection (2) (a) may, on payment to An Bord Pleanála of such fee as may be prescribed, refer a declaration for review by the Board within four weeks of the date of the issuing of the declaration by the Local Authority.

Is mise, le meas,


ADMINISTRATIVE OFFICER
PLANNING ECONOMIC & RURAL DEVELOPMENT





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DECLARATION IN ACCORDANCE WITH ARTICLE 5 (2) (A) OF THE PLANNING & DEVELOPMENT ACT 2000 AS AMENDED

Applicant: Carnew National School

Location: Carnew National School, Carnew, Co. Wicklow

Reference Number: EX113/2024

CHIEF EXECUTIVE ORDER NO. CE/PERD/2025/59

Section 5 Declaration as to whether “1. External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C 2. New windows, 3. New rooflights, 4. New heat pump and mvhr systems, 5. New LPG tank” constitutes exempted development within the meaning of the Planning and Development Act, 2000(as amended).

Having regard to:

- The details submitted on the 19th December 2024;
- Section 2, 3, 4(1)(h) and 57(1) of the Planning and Development Act 2000 (as amended).
- Carnew Town Plan 2022 - 2028.

Main Reasons with respect to Section 5 Declaration:

- A. Carnew National School is a protected structure. No. 47 - 03 in Wicklow County Development Plan 2022 - 2028
- B. Works involving fabric and service retrofit upgrade to include external insulation, new windows, new rooflights, respecting Blocks A, B, C and D, would come within the definition of works having regard to the provisions of the Planning and Development Act 2000 (as amended), and is therefore development.
- C. Works involving fabric and service retrofit upgrade to include external insulation, new windows, new rooflights and the installation of a MVHR system would come within the provisions of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000(as amended) as the works would not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures, and does not materially affect the special architectural interest of this element of the structure and therefore there is no material impact on the character of the protected structure.
- D. Works involving new heat pump and MVHR systems, new LPG tank do not come within the scope of Section 4(1)(h) of the Planning and Development Act 2000 (as amended) and there are not exemptions for these structures in the Planning and Development Regulations 2001(as amended).

The Planning Authority considers that

- a) External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C is development and is exempted development.

*Tá an doiciméad seo ar fáil i bhformáidí eile ar iarratas
This document is available in alternative formats on request*

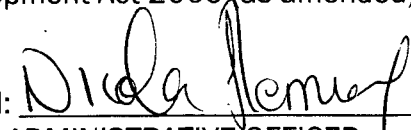
Ba chóir gach comhfhreagras a sheoladh chuig an Stiúrthóir Seirbhíse, Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
All correspondence should be addressed to the Director of Services, Planning, Economic and Rural Development.




- b) New Windows is development and is exempted development.
- c) New Rooflights is development and is exempted development.
- d) New heat pump is development and is **NOT** exempted development.
- e) The MVHR system is development and is exempted development
- f) New LPG tank is development and is **NOT** exempted development.

At Carnew National School, Carnew, Co. Wicklow within the meaning of the Planning & Development Act 2000 (as amended).

Signed:



ADMINISTRATIVE OFFICER
PLANNING ECONOMIC & RURAL DEVELOPMENT

Dated  January 2025

WICKLOW COUNTY COUNCIL
PLANNING & DEVELOPMENT ACTS 2000 (As Amended)

SECTION 5

CHIEF EXECUTIVE ORDER NO. CE/PERD/2025/59

Reference Number: EX113/2024

Name of Applicant: Carnew National School

Nature of Application: Section 5 Declaration request as to whether or not: -
“1. External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C
2. New windows, 3. New rooflights, 4. New heat pump and mvhr systems, 5. New LPG tank” is or is not development and is or is not exempted development.

Location of Subject Site: Carnew National School, Carnew, Co. Wicklow

Report from Andrew Spencer, EP & Edel Bermingham, SEP

With respect to the query under section 5 of the Planning & Development Act 2000 as to whether “1. External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C 2. New windows, 3. New rooflights, 4. New heat pump and mvhr systems, 5. New LPG tank” at Carnew National School, Carnew, Co. Wicklow is or is not exempted development within the meaning of the Planning & Development Act 2000 (as amended).

Having regard to:

- The details submitted on the 19th December 2024;
- Section 2, 3, 4(1)(h) and 57(1) of the Planning and Development Act 2000 (as amended).
- Carnew Town Plan 2022 - 2028.

Main Reason with respect to Section 5 Declaration:

- A. Carnew National School is a protected structure. No. 47 - 03 in Wicklow County Development Plan 2022 - 2028
- B. Works involving fabric and service retrofit upgrade to include external insulation, new windows, new rooflights, respecting Blocks A, B, C and D, would come within the definition of works having regard to the provisions of the Planning and Development Act 2000 (as amended), and is therefore development.
- C. Works involving fabric and service retrofit upgrade to include external insulation, new windows, new rooflights and the installation of a MVHR system would come within the provisions of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 (as amended) as the works would not materially affect the external appearance of the structure so as to render the appearance inconsistent with the

character of the structure or of neighbouring structures, and does not materially affect the special architectural interest of this element of the structure and therefore there is no material impact on the character of the protected structure.

- D. Works involving new heat pump and MVHR systems, new LPG tank do not come within the scope of Section 4(1)(h) of the Planning and Development Act 2000 (as amended) and there are not exemptions for these structures in the Planning and Development Regulations 2001(as amended).

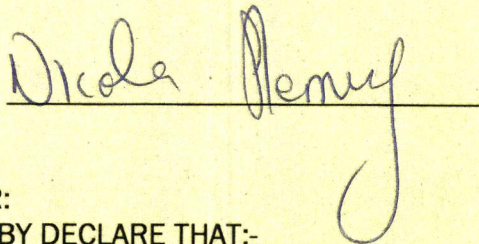
Recommendation:

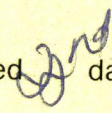
The Planning Authority considers that:-

- a) External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C is development and is exempted development.
- b) New Windows is development and is exempted development.
- c) New Rooflights is development and is exempted development.
- d) New heat pump is development and is **NOT** exempted development.
- e) The MVHR system is development and is exempted development
- f) New LPG tank is development and is **NOT** exempted development.

At Carnew National School, Carnew, Co. Wicklow as recommended in the report by the SEP.

Signed



Dated  day of January 2025

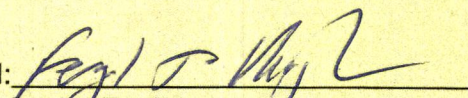
ORDER:


I HEREBY DECLARE THAT:-

- a) External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C is development and is exempted development.
- b) New Windows is development and is exempted development.
- c) New Rooflights is development and is exempted development.
- d) New heat pump is development and is **NOT** exempted development.
- e) The MVHR system is development and is exempted development
- f) New LPG tank is development and is **NOT** exempted development.

At Carnew National School, Carnew, Co. Wicklow within the meaning of the Planning & Development Act 2000 (as amended).

Signed:


Senior Engineer
Planning, Economic & Rural Development

Dated  day of January 2025



**WICKLOW COUNTY COUNCIL
PLANNING DEPARTMENT**

PLANNING REPORT SECTION 5 APPLICATION

TO: FERGAL KEOGH SE. / EDEL BERMINGHAM SEP/SUZANNE WHITE SEP
FROM: ANDREW SPENCER E.P.
SUBJECT REF: EX113/2024
DECISION DATE: 24/01/2025
APPLICANT: CARNEW NATIONAL SCHOOL
ADDRESS: MAIN STREET CARNEW
EXEMPTION: WHETHER OR NOT 1 FABRIC AND SERVICE RETROFIT UPGRADE TO INCLUDE EXTERNAL INSULATION, NEW WINDOWS, NEW ROOFLIGHTS, NEW HEAT PUMP AND MVHR SYSTEMS, NEW LPG TANK. CARNEW NATIONAL SCHOOL IS A PROTECTED STRUCTURE - RPS NO. 47 - 03
SITE VISIT: NO.

Relevant legislation:

Planning and Development Act 2000 (as amended)

Section 2:

"structure" means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

- (a) where the context so admits, includes the land on, in or under which the structure is situate, and
(b) in relation to a protected structure or proposed protected structure, includes—
- (i) the interior of the structure,
 - (ii) the land lying within the curtilage of the structure,
 - (iii) any other structures lying within that curtilage and their interiors, and
 - (iv) all fixtures and features which form part of the interior or exterior of any structure or structures referred to in *subparagraph (i) or (iii)*;

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3:

3.—(1) In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4.—

(1) The following shall be exempted developments for the purposes of this Act— (h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

Section 57(1): states "Notwithstanding section 4(1)(a),(h),(i),(j),(k) or (l) and any regulations made under section 4(2), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of – (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest".

"protected structure" means—

(a) a structure, or

(b) a specified part of a structure,

which is included in a record of protected structures, and, where that record so

indicates, includes any specified feature which is within the attendant grounds of the structure and which would not otherwise be included in this definition;

“structure” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

(a) where the context so admits, includes the land on, in or under which the structure is situate, and

(b) in relation to a protected structure or proposed protected structure, includes—

(i) the interior of the structure,

(ii) the land lying within the curtilage of the structure,

(iii) any other structures lying within that curtilage and their interiors, and

(iv) all fixtures and features which form part of the interior or exterior of any structure or structures referred to in subparagraph (i) or (iii);

“alteration” includes—

(a) plastering or painting or the removal of plaster or stucco, or

(b) the replacement of a door, window or roof,

that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

Planning and Development Regulations, 2001 (as amended):

Article 6(1) states that certain classes of development which are specified in Schedule 2 shall be exempted development for the purposes of the Act, subject to compliance with any associated conditions and limitations;

Article 9(1)(a) details a number of circumstances under which the development to which Article 6 relates shall not be exempted development for the purposes of the Act;

Assessment

Carnew National School is a protected structure, RPS No. 47-03. The building in question, Block A, the original school is not listed on the NIAH website. The description of the protected structure is ‘a *Mid-20th Century National School with rough-cast walls and tall windows*’.

The applicant has submitted an application from Mahoney Architecture a Grade 2 Conservation Practice. With respect to the elements of the structure which contribute to its protection these appear to include the rough - cast walls and the long windows. Regarding the rough cast walls the applicants’ propose to use only an external insulation of minimal thickness. It is proposed to use smooth render on the external insulation for health and safety and maintenance reasons. However the applicant is willing to replicate the rough cast finish outside of the proposed insulation. In addition all existing vents plinths plaques and other features are to be replicated on the new external finish. It is proposed to replace the existing pvc with aluminium windows and to retain the original 6 over 6 sash configuration.

The remaining blocks B, C and D are to be retrofitted similarly to A with the inclusion of replacement rooflights and vents.

It is also proposed to replace an existing oil tank with an LPG tank, install an external heat pump and provide an electric car charging station in the staff car park.

For the purpose of clarity the elements of the proposal can be itemised as follows:
fabric and service retrofit upgrade to include:

1. External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C
2. New windows,
3. New rooflights,
4. New heat pump and mvhr systems,
5. New LPG tank.

Is development proposed?

The definition of works (Section 2 (1) Planning and Development Act 2000 as amended) includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Therefore I consider that 'development' is proposed.

The question now arises with regard to whether this 'development' is 'exempted development'?

Exempted Development Section 4(1)(h) of the Planning and Development Act 2000 (as amended) states that "development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures" shall be exempted development.

However, given that the proposed development relates to a Protected Structure, Section 57(1) of the Planning and Development Act 2000 (as amended) is also applicable. In this regard, Section 57 (1) states "Notwithstanding section 4(1)(a), (h), (i), (j), (k) or (l) and any regulations made under section 4(2), the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of – (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest". The question therefore arises as to whether the proposed works would materially affect the character of the protected structure or any element of the structure which contributes to its interest.

The second part of the assessment is to determine whether or not the works would be exempted development under the Planning and Development Act 2000 (as amended) or it's associated Regulations.

Section 4 (1)(h).

The works are for maintenance/ improvement of the school structure, they would affect the external appearance, however given the existing school on site, and finishes it is considered that the works would not render this structure inconsistent with the character of the structure or of neighbouring structures, and therefore works come within the provisions of Section 4(1)(h) and is therefore exempted development

New heat pump and mvhr systems, new lpg tank

// The MVHR System is internal and would come within the scope of S4(1)(h)

The regulations do not identify any exemptions for such items in respect of Educational Buildings and as such these measures cannot be considered exempted development under the Planning and Development Regulations 2001 (as amended). Therein no exemptions exist respecting educational facilities, the exemptions specifically referring to business and industrial facilities.

Section 57(1)

The impacts on the elements of interest of the protected structure are:

With respect to the rough cast wall, covering of same with external insulation - the applicant has stated that the roughcast finish can be replicated over the proposed external insulation. The applicant also proposes to replicate the existing vents plinths and plaques to match the existing.

Given the aforementioned it is considered that such works would mitigate against any material affects on the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest, being the rough cast plaster which is covered and protected.

With respect to the windows - it is considered that as these have already undergone replacement and the proposed replacement does not alter the long window opes, this measure does not materially affect the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Recommendation:

The Planning Authority considers that:

With respect to the query under Section 5 of the Planning and Development Act 2000(as amended), as to whether, the proposed development with description revised as follows:

1. External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C
2. New windows,
3. New rooflights,
4. New heat pump and mvhr systems,
5. New LPG tank.

At Carnew national school a protected structure - RPS NO. 47 - 03 constitutes exempted development within the meaning of the Planning and Development Acts, 2000(as amended).

The Planning Authority consider that:

Item 1:

External insulation and with roughcast plaster and replacement of vents plinths and plaque features of Block A and external insulation, new windows, new rooflights respecting Blocks B and C is development and is exempted development.

Item 2:

New Windows is development and is exempted development.

Item 3:

New Rooflights is development and is exempted development.

Item 4:

New heat pump and mvhr systems is development and is not exempted development.

Item 5: The mvhr system is development and is exempted development

Item 6:

New LPG tank is development and is not exempted development.

Main considerations with respect to Section 5 Declaration:

- The details submitted on the 19th December 2024;
- Section 2, 3, 4(1)(h) and 57(1) of the Planning and Development Act 2000 (as amended).
- Carnew Town Plan 2022 - 2028.

Main Reasons with respect to Section 5 Declaration:

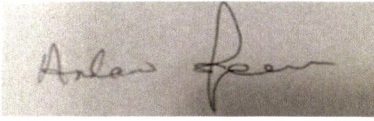
A Carnew National School Bray ^{is a} protected structure. No. 47 - 03 in Wicklow County Development Plan 2022 - 2028

B Works involving fabric and service retrofit upgrade to include external insulation, new windows, new rooflights, respecting Blocks A, B, C and D, would come within the definition of works having regard to the provisions of the Planning and Development Act 2000 (as amended), and is therefore development. *and the installation of a mvhr system,*

C Works involving fabric and service retrofit upgrade to include external insulation, new windows, new rooflights, would come within the provisions of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000(as amended) as the works would not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures, and does not materially affect the special architectural interest of this element of the structure and therefore there is no material impact on the character of the protected structure.

D: Works involving new heat pump and ~~MVHR~~ systems, new LPG tank do not come within the scope of ~~exempted development legislation having regard to~~ ^{Section 4(1)(b)} the Planning and Development Act 2000 (as amended) and the Planning and development regulations 2001(as amended).

There are no exemptions for less structures in



Andrew Spencer EP.
21/01/2025

David St John
21/1/2025

Issue described as ~~modified~~
Prop T My L 12
22/01/25

MEMORANDUM

WICKLOW COUNTY COUNCIL

**TO: Andy Spencer
Executive Planner**

**FROM: Nicola Fleming
Staff Officer**

**RE:- Application for Certificate of Exemption under Section 5 of the
Planning and Development Acts 2000 (as amended).
EX113/2024**

I enclose herewith application for Section 5 Declaration received completed on 19/12/2024

The due date on this declaration is 24th January 2025.



**Staff Officer
Planning, Economic & Rural Development**

Nicola Fleming

From: Nicola Fleming
Sent: Thursday 19 December 2024 15:49
To: 'Elaine Mahoney'
Subject: RE: Section 5 Planning Submission for Scoil Aodan Naofa Carnew National School.

I wish acknowledge receipt of Section 5 EX113/20024 and to advise that decision is due on 24/01/2025.

Regards,

Nicola Fleming

Staff Officer

Planning, Economic & Rural Development

WICKLOW COUNTY COUNCIL, COUNTY BUILDINGS, WICKLOW TOWN, A67 FW96

Ph ☎: +353 (0404) 20148 | ✉: nfleming@wicklowcoco.ie

Website: <http://www.wicklow.ie>



Comhairle Chontae Chill Mhantáin
Wicklow County Council

From: Elaine Mahoney [<mailto:emahoney@mahoneyarchitecture.com>]
Sent: Thursday 19 December 2024 15:51
To: Planning - Planning and Development Secretariat
Subject: Section 5 Planning Submission for Scoil Aodan Naofa Carnew National School.

External Sender - From: (Elaine Mahoney
<emahoney@mahoneyarchitecture.com>)
This message came from outside your organisation.

CAUTION This email originated from outside Wicklow County Council. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Sir Madam,

Please find attached Section 5 Planning Submission for Carnew National School.

The €80 fee was paid on 3.12.24 and the receipt number is 338012.

Should you have any queries, please contact the undersigned.

Regards,

Elaine.

Elaine Mahoney McCabe BARCH FRIAI
Director

t. +353 (0)1 672 5766

d +353 (087) 2299991
e. emahoney@mahoneyarchitecture.com

21 Denzille Lane,
D02 EY19, Dublin, Ireland.



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Section 5 Planning Exemption
Application to Wicklow County

SCOIL AODÁN NAOFA
Carnew National School – Protected
Structure

REPowerEU Schools Energy Pathfinder
Programme – 2024/25

Introduction

Mahoney Architecture, a Grade 2 Conservation Practice, have been appointed by the Department of Education to upgrade the thermal fabric of the entire school building at Scoil Aodán Naofa, Carnew and to upgrade general M&E services in line with the EU REPowerEU Schools Energy Pathfinder Programme – 2024/25.

The Department of Education has been successful in applying for inclusion in the REPowerEU Schools Energy Retrofit Pathfinder Programme 2024/2025 to develop and complete a Schools Energy Retrofit Pathfinder programme. REPowerEU is the EU's plan to rapidly reduce dependence on Russian fossil fuels following the war in Ukraine, boost the independence and security of the Union's energy supply and accelerate the green transition. REPowerEU is financed via the National Recovery and Resilience Facility (NRRF). This programme will deliver significant energy improvement works to a selected panel of buildings in the region during 2025.

Schools represent a significant opportunity for building energy retrofit – with the additional benefit of their high visibility in communities which has potential additional demonstrator and awareness value.

This programme will focus on deep retrofit for all or a section of your school building including supporting energy efficiency and decarbonisation works, to achieve a Building Energy Rating (BER) of at least B1 and a 50% saving in primary energy.

The proposed works relate to upgrades to the fabric including walls, roofs and windows. The works will also include the installation of MVHR units in classroom (which require venting to the outside) plus external air to water heat pumps, LPG tanks and EV charging points.

As this school has a protected structure status, we have considered a minimal intervention approach for the 1955 block. The programme requires an upgrade to the external wall fabric and we are proposing a minimal depth of external insulation to Block A which will not give rise to any changes to original roof and

structural profile. Any rainwater pipes and gutters removed to facilitate the works will be replaced with matching painted cast iron or aluminium to match existing. Plaques and other features will also be removed and re-fitted on completion. Other interventions include the provision of a small number of MVHR vents in wall. We are proposing replacing the PVC windows with new 6 over 6 style aluminium windows.

Elsewhere interventions to other blocks will have minimal impact on the existing visual appearance of the school both in relation to the original school building and surrounding properties. In general works are upgrade and maintenance based and replacements/interventions will match existing.

This submission is an application under Section 5 of the Planning and Development Acts 2000 (as amended) for a declaration from Wicklow County Council that the proposed works, as set out in documents and drawings attached are Exempted Development.


Project Description

Scoil Aodán Naofa, Carnew National School, school roll no. 18242A, is a co-educational primary school located in Carnew, Co. Wicklow.



The school is located within the village of Carnew, on the R725 road heading out of the village towards the west. A staff car park is located to the front of the school and a small number of roadside parking spaces are provided on the public side of the school boundary wall. The site is bounded by residential, commercial and agricultural land. The school has 8 classes from Junior Infants to Sixth Class. The School Principal is Kevin O'Donnell.

The school is a protected structure under Wicklow County Council RPS list, RPS no. 47-03. It is not documented in the NIAH list of protected structures.

47-03	47	Carnew Bunclody Road	National School	Carnew 1d	Mid-20 th Century National School with rough-cast walls and tall windows.	
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The school has evolved overtime from the 1954 479sqm one room school block to the current school which is made up of a series of interconnected pitched roof blocks, with a floor area of 1268sqm. There have been a number of extensions and works programmes within the school over the intervening years, as set out below.

Chronology of school development and evolution.

- 1954: The school opened in 1954.
- 1980: A large extension was added to the rear of the school in 1980 consisting of four classrooms and a GP hall
- 2009: Replacement of doors and windows under the Summer Works Scheme 2009.
- 2009: An extension was added to the school in 2009 with the addition of two new classrooms.
- 2013: A single classroom extension in 2013.
- 2024: We understand a live project for an extension to provide a 2-classroom room SEN facility to the rear of the school is on-going at design/planning stage.

This Section 5 planning exemption request submission sets out a summary of the existing school Blocks and fabric plus the proposed new works interventions to upgrade the thermal fabric of the building and to upgrade general M&E services in line with the EU REPowerEU Schools Energy Pathfinder Programme – 2024/25.

Existing Building Fabric

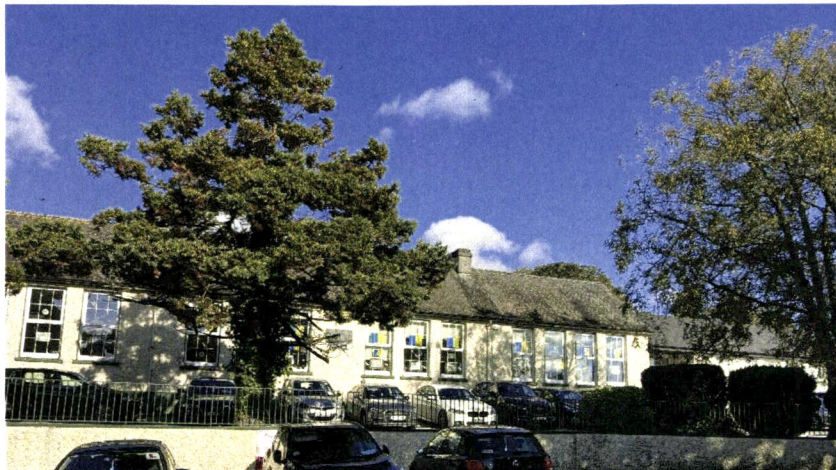
The school is a single storey structure, part pitched roof, part flat roof.

BLOCK A

Block A is the original 1955 school building. This was the original school which was a standalone three-room schoolhouse. The block has had a number of upgrades in the intervening years including new windows, new ceiling and lights. The block is a pitched roof single room structure.

The layout of this block has changed over time. It currently accommodates two classrooms, a resource room, a staff room and the principal's office plus ancillary spaces – WCs, stores and circulation.

The school has a protected structure status and this block (1954) we would anticipate that this block is the main structure of interest for this status, being a common schoolhouse typology built throughout the country in the 1950's.



External walls: This building block is a solid concrete wall construction. The external finish is a painted roughcast render with painted concrete cills and smooth plaster window reveal finish.

Roof: Pitched Roof: Traditional timber structure pitched roof with slate finish.

Windows: Double glazed PVC windows with plaster reveals and timber cills. Windows were installed in 2009. Vertical format windows, divided into the style of a six over six style sash sections, middle section top hung opening sash.



BLOCK B

Block B was constructed in 1980. A cross-form extension built to the rear of the existing school with the GP Hall at its centre and linking the new classrooms and original school together with 3 interconnecting pitch roof structures. The block has had various upgrades in the intervening years including new windows and doors, insulation and weathering of flat roof areas. This block accommodates 4no. Classrooms, a staff room plus ancillary spaces – WCs, stores and circulation.

External Walls: This building block is masonry cavity construction. The external finish is a painted roughcast render and smooth plaster internal finish.

Roof: Pitched Roof: Traditional timber structure pitched roof with cement tile finish.

Windows & Doors: Double glazed PVC windows and doors with PVC reveals and cill. Windows were installed in 2009. Generally, casement style, a mix of breakup arrangements. windows with side hung and top hung opening sections.

BLOCK C

Block C is from the 2009 extension. This block is located to the LHS of the school on the NW side. The block form is a single storey pitched roof structure (the original school). This block accommodates two classrooms.

External walls: This building block is masonry cavity construction, with partial fill insulation, wall thickness 340mm (no opening works carried out to date). The external finish is a painted textured render and smooth plaster internal finish.

Pitched Roof: Pitched Roof: Traditional timber structure pitched roof with fibre cement slate roof finish, with roof membrane and 100mm insulation.

Windows: Double glazed PVC windows with plastered reveal and timber cill. Windows were installed in 2009. Generally, casement style windows with side hung and top hung opening sections. sash.

Block D

A small single classroom extension was constructed in 2013, located to the RHS of original school, SE side.

External walls: Masonry cavity construction, with partial fill insulation. The external finish is a painted textured render and smooth plaster internal finish.

Pitched Roof: Pitched Roof: Traditional timber structure pitched roof with fibre cement roof finish, with roof membrane and 100mm insulation.

Windows: Double glazed PVC windows with plastered reveal and timber cill. Windows were installed in 2013. Generally, casement style windows with side hung and top hung opening sections. sash.

Proposed Works

Block A

As this Block is the original schoolhouse and due to sensitivities relating to the Protected Structure status of this structure, we are proposing a minimal thickness of external wall insulation to the external plaster finish. Smooth concrete reveal and concrete cill details to be extended and replicated to match existing profile. All existing vents, plinths, plaques, features to be replicated to match existing. Whilst not favoured by the school for maintenance and health and safety reasons, the roughcast finish can be replicated on Block A, if deemed to be the preference of the Conservation Officer.

Roof detail will not change as external insulation layer will be thin enough to avoid interventions to eaves overhang and gable side, tapering will be introduced if required. A small reduction in overhang depth. Thermal insulation to be added to attic space.

It is proposed to replace the existing PVC windows with new powder coat finish double glazed aluminium windows. We understand the 6 over 6 configuration reflects the original six over six sash windows and we will retain this configuration for the new windows.

All external walls to be painted. Colours to be agreed.

Block B

The block was injected with pumped bead insulation in 2009. It is now proposed to apply an external wall insulation (EWI) to the masonry walls of Block B. All required adjustments to window cills, reveals and roof soffits as required. Detail to match existing. The existing roughcast render is not liked by the school for health and safety and maintenance reason. The new painted plaster finish will be a smooth plaster finish.

Roof will not change, insulation to be added to attic space.

It is proposed to replace the existing PVC windows with new powder coat finish double glazed aluminium windows.

All external walls to be painted. Colours to be agreed.

Block C

The walls are cavity block construction with partial fill insulation. It is proposed to pump the existing cavity with a cavity bead insulation plus addition of an external insulation.

Roof will not change, insulation to be added to attic space.

It is proposed to replace the existing PVC windows with new powder coat finish double glazed aluminium windows.

All external walls to be painted. Colours to be agreed.

Block D

No proposed fabric changes to Block D other than MVHR venting and proposed external painting.

All external walls to be painted. Colours to be agreed.

M&E Works

MVHR Units: Mechanical ventilation heat recovery is proposed for all classroom and workspaces. These units are located inside the classroom and are ducted to the outside via an outlet in the wall or grille in window unit.

Heat Pump: An external heat pump will installed, refer to site plan for proposed location.

LPG Tank: An LPG tank is to be installed. Existing oil tank to be removed. The location of the LPG tank is subject to Fiò Gas site review and risk assessment, proposed location indicated on Site Plan.

Electric Car Chargers: It is proposed to provide an electric car charging station in the existing staff parking area which is within the grounds of the school.

PV: There is existing PV in this school. No new proposed.

Wicklow County Council
County Buildings
Wicklow
0404-20100

02/12/2024 14:53:20

Receipt No L1/0/338013

MOHONEY ARCHITURE
21 DENILLIE LANE
DUBLIN 2

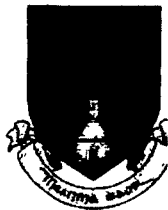
PLANNING APPLICATION FEES	80 00
GOODS	80 00
VAT Exempt/Non-vatable	

Total 80 00 EUR

Tendered
Credit Card 80 00

Change 0 00

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Co Wicklow
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Fax 0404 69462

Office Use Only

Date Received _____

Fee Received _____

APPLICATION FORM FOR A
DECLARATION IN ACCORDANCE WITH SECTION 5 OF THE PLANNING &
DEVELOPMENT ACTS 2000 (AS AMENDED) AS TO WHAT IS OR IS NOT
DEVELOPMENT OR IS OR IS NOT EXEMPTED DEVELOPMENT

1. Applicant Details

- (a) Name of applicant: CARNEW NATIONAL SCHOOL
Address of applicant: SCOIL AODÁIN NAOFÁ, CARNEW
NATIONAL SCHOOL, CARNEW, CO. WICKLOW Y14XR62

Note: Phone number and email to be filled in on separate page.

2. Agents Details (Where Applicable)

- (b) Name of Agent (where applicable) MAHONEY ARCHITECTURE
Address of Agent: 21 DENZILLE LANE, DUBLIN 2.
D02ET19

Note: Phone number and email to be filled in on separate page.

3. Declaration Details

i. Location of Development subject of Declaration CARNEGIE NATIONAL
SCHOOL, CARNEGIE, CO. WICKLOW
Y14XR62

ii. Are you the owner and/or occupier of these lands at the location under i. above?
Yes

iii. If 'No' to ii above, please supply the Name and Address of the Owner, and or occupier _____

iv. Section 5 of the Planning and Development Act provides that : If any question arises as to what, in any particular case, is or is not development and is or is not exempted development, within the meaning of this act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question. You should therefore set out the query for which you seek the Section 5 Declaration FABRIC AND SERVICE
RETROFIT UPGRADE - AS PER ATTACHED
DRAWINGS TO INCLUDE EXTERNAL INSULATION,
NEW WINDOWS, NEW ROOFUSHES, NEW HEAT
PUMP AND NHTR SYSTEMS, NEW LPG TANK

Additional details may be submitted by way of separate submission.

v. Indication of the Sections of the Planning and Development Act or Planning Regulations you consider relevant to the Declaration _____

SECTION 4(1)(L) PLANNING + DEVELOPMENT
ACT 2000.

Additional details may be submitted by way of separate submission.

vi. Does the Declaration relate to a Protected Structure or is it within the curtilage of a Protected Structure (or proposed protected structure) ? YES
RPS NO. 47-03

vii. List of Plans, Drawings submitted with this Declaration Application _____
SITE LOCATION MAP, SITE PLAN 2410-1000,
GROUND FLOOR PLAN 2410-1001, ROOF PLAN
2410-1002, ELEVATIONS 2410-2000 & 2001
SECTION 2410-3000.

viii. Fee of € 80 Attached ? YES, PAID BY CREDIT CARD TO WCC
RECEIPT NO. 338012 ON 3.12.24

Signed : *Elizabeth Mahony ME* Dated : 19.12.24.

Additional Notes :

As a guide the minimum information requirements for the most common types of referrals under Section 5 are listed below :

A. Extension to dwelling - Class 1 Part 1 of Schedule 2

- Site Location Map
- Floor area of structure in question - whether proposed or existing.
- Floor area of all relevant structures e.g. previous extensions.
- Floor plans and elevations of relevant structures.
- Site Layout Plan showing distance to boundaries, rear garden area, adjoining dwellings/structures etc.

B. Land Reclamation -

The provisions of Article 8 of the Planning and Development Regulations 2001 (as amended) now applies to land reclamation, other than works to wetlands which are still

governed by Schedule 2, Part 3, Class 11. Note in addition to confirmation of exemption status under the Planning and Development Act 2000(as amended) there is a certification process with respect to land reclamation works as set out under the European Communities (Environmental Impact Assessment) (Agriculture) Regulations 2011 S.I. 456 of 2011. You should therefore seek advice from the Department of Agriculture, Fisheries and Food.

Any Section 5 Declaration should include a location map delineating the location of and exact area of lands to be reclaimed, and an indication of the character of the land.

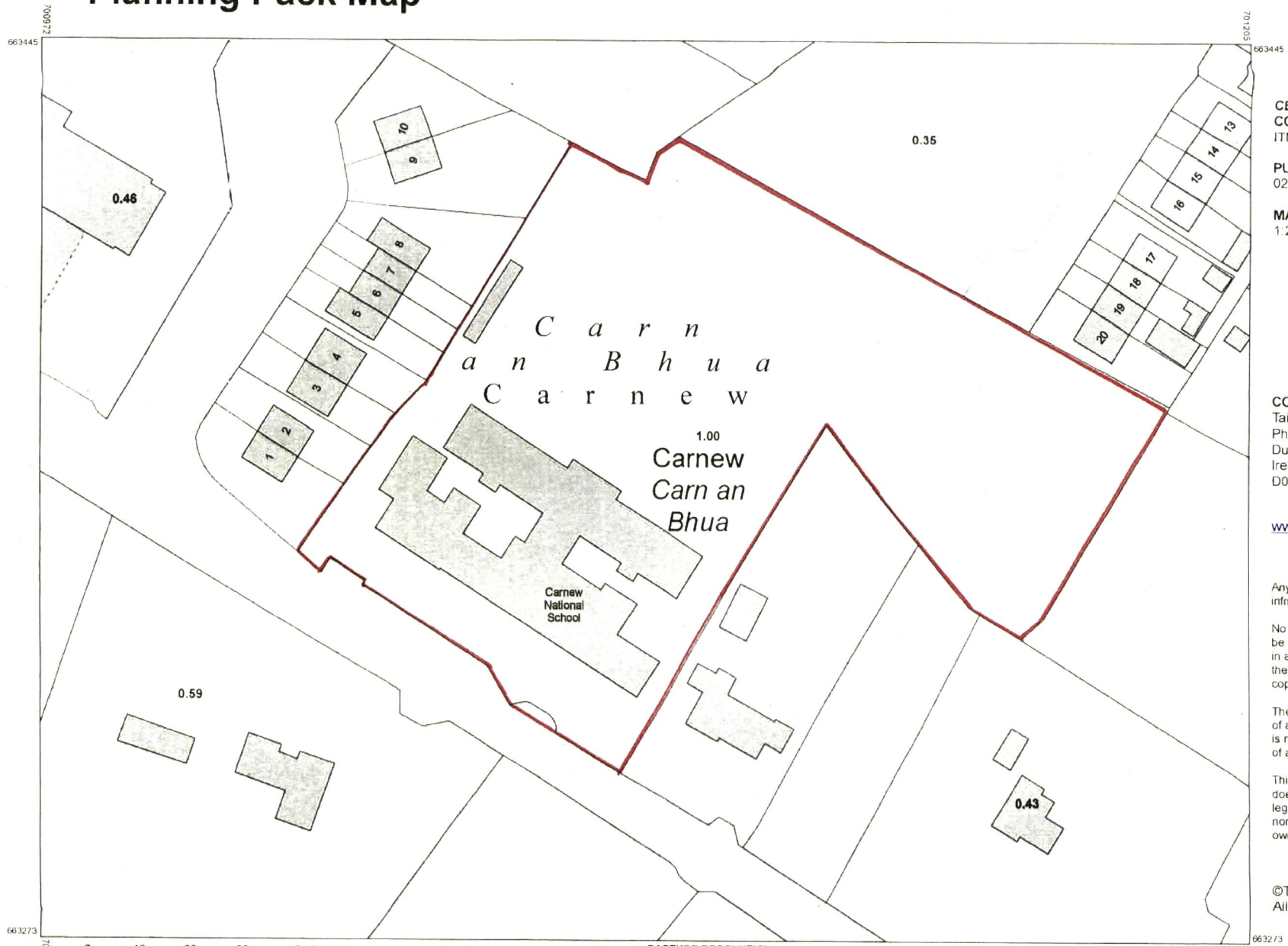
C. Farm Structures - Class 6 -Class 10 Part 3 of Schedule 2.

- Site layout plan showing location of structure and any adjoining farm structures and any dwellings within 100m of the farm structure.
- Gross floor area of the farm structure
- Floor plan and elevational details of Farm Structure and Full details of the gross floor area of the proposed structure.
- Details of gross floor area of structures of similar type within the same farmyard complex or within 100metres of that complex.

Planning Pack Map



Tailte Éireann



CENTRE COORDINATES:
ITM 701069,663359

PUBLISHED: 02/12/2024 **ORDER NO.:** 50437365_3

MAP SERIES: 1:2,500 **MAP SHEETS:** 4599-C

COMPILED AND PUBLISHED BY:
Tailte Éireann,
Phoenix Park,
Dublin 8,
Ireland
D08F6E4

www.tailte.ie

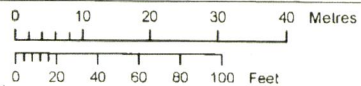
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OUTPUT SCALE: 1:1,000

CAPTURE RESOLUTION:
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Output scale is not indicative of data capture scale
Further information is available at www.tailte.ie, search 'Capture Resolution'

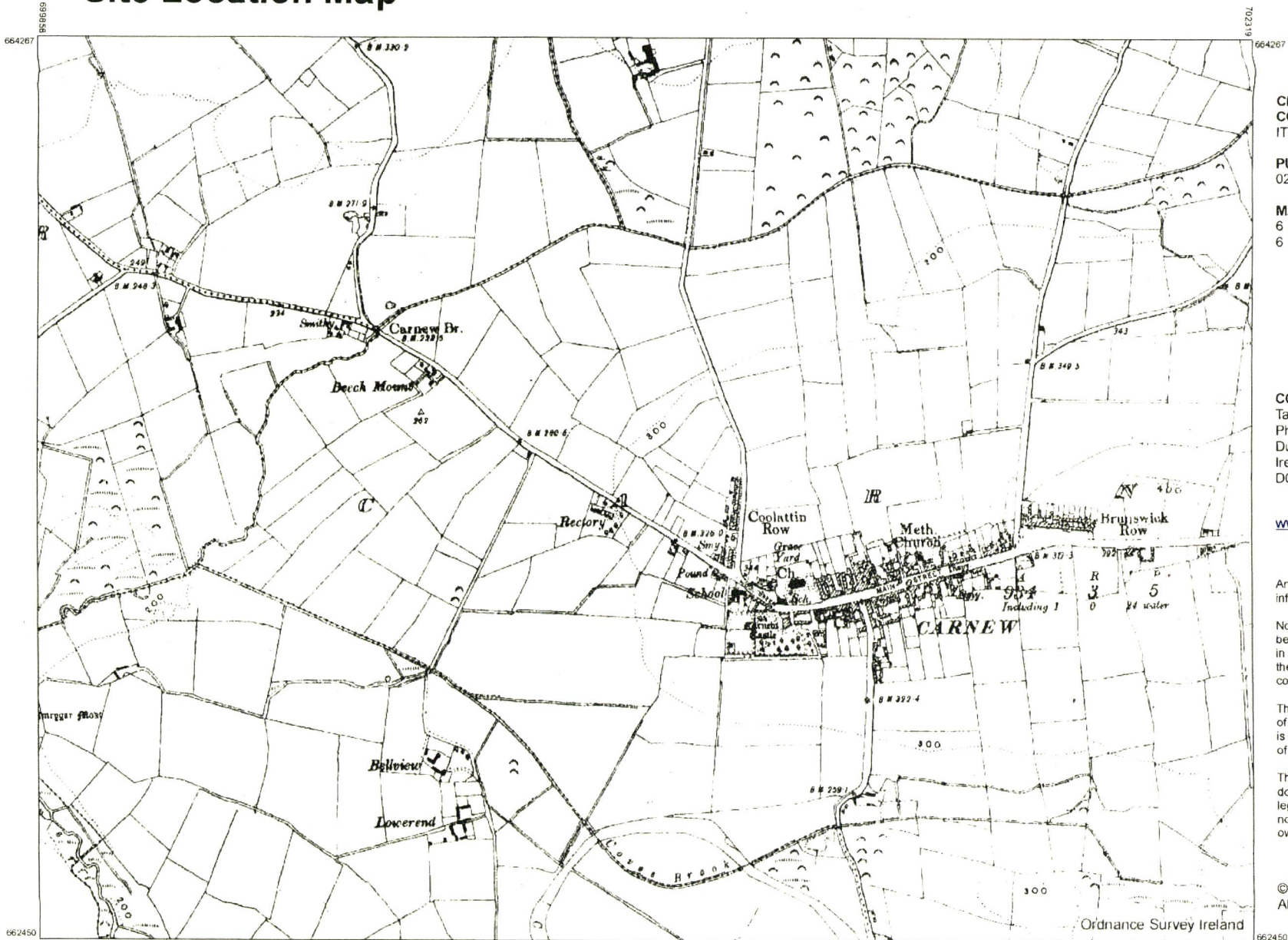
LEGEND:
To view the legend visit www.tailte.ie and search for 'Large Scale Legend'



Site Location Map



Tailte Éireann



CENTRE COORDINATES:
ITM 701089,663359

PUBLISHED: 02/12/2024
ORDER NO.: 50437365_3

MAP SERIES: 6 Inch Raster
MAP SHEETS: WW047
6 Inch Raster WX005

COMPILED AND PUBLISHED BY:
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Dublin 8,
Ireland
D08F6E4

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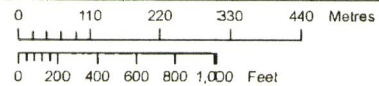
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Ordnance Survey Ireland



OUTPUT SCALE: 1:10,560

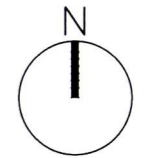
CAPTURE RESOLUTION:
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LEGEND:
To view the legend visit www.tailte.ie and search for 'Large Scale Legend'





A3



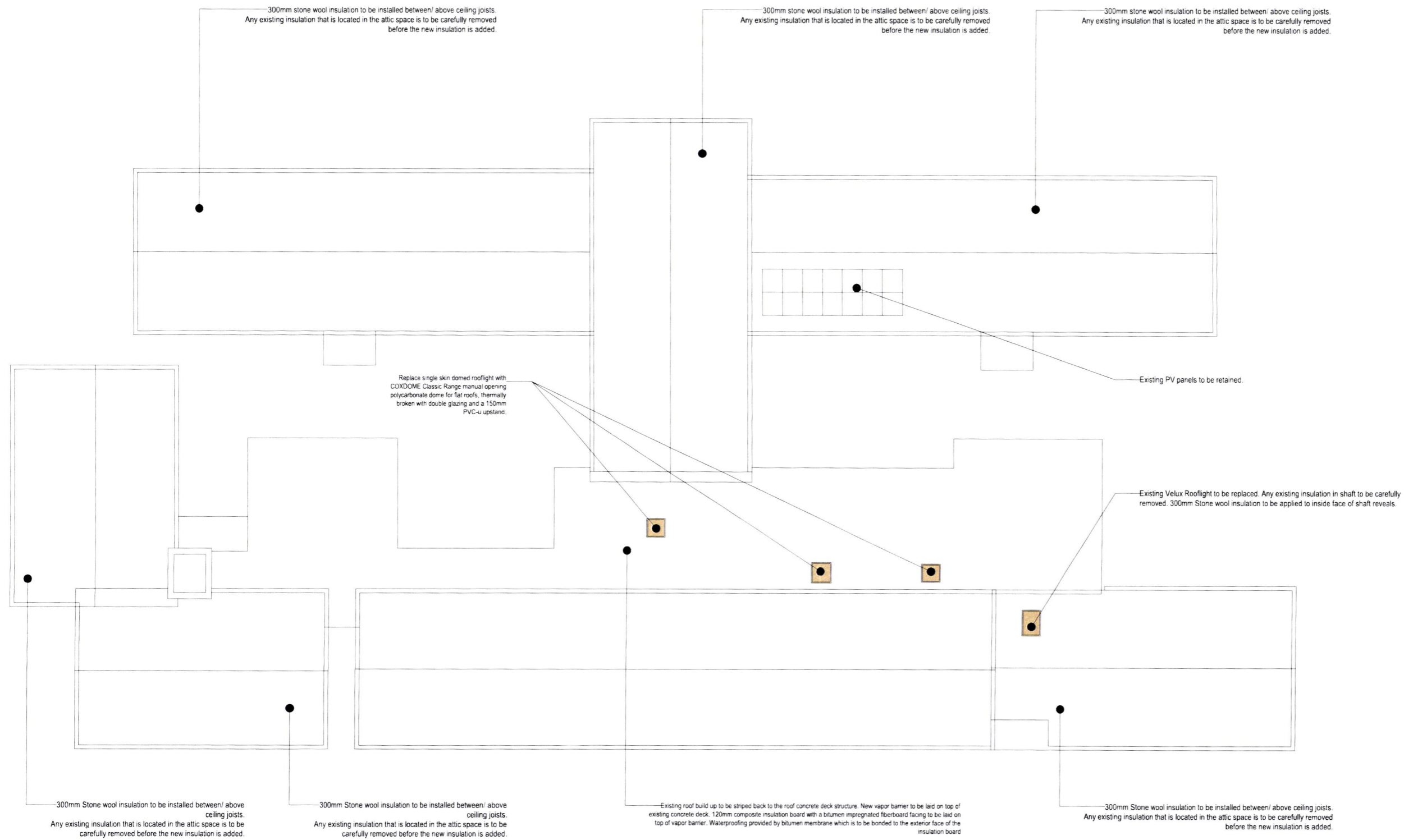
Key	
	Site Boundary

P3	0	17-12-2024	ISSUED FOR PLANNING SECTION 5	JW	EM
Purpose	Rev	Date	Description	DR	CH

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CLIENT Department of Education					
PROJECT Carnew National School					
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1000	P3			0	
DRAWING TITLE Site Layout Plan					
PURPOSE Planning Section 5				SCALE 1:500	
DRAWN JW	DATE 17 December 2024	CHECKED JW	APPROVED EM		

1 SITE LAYOUT PLAN
 Scale: 1:500



KEY

	Windows, External doors & Rooflights to be replaced
--	---

Purpose/Rev.	Date	Description	DR	CH	AP
P3	17-11-2024	ISSUED FOR PLANNING SECTION 5	JW	EM	EM

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PRGJ No.	ORIGINATOR	VOLUME	LEVEL	DR	TYPE	DISCIPLINE
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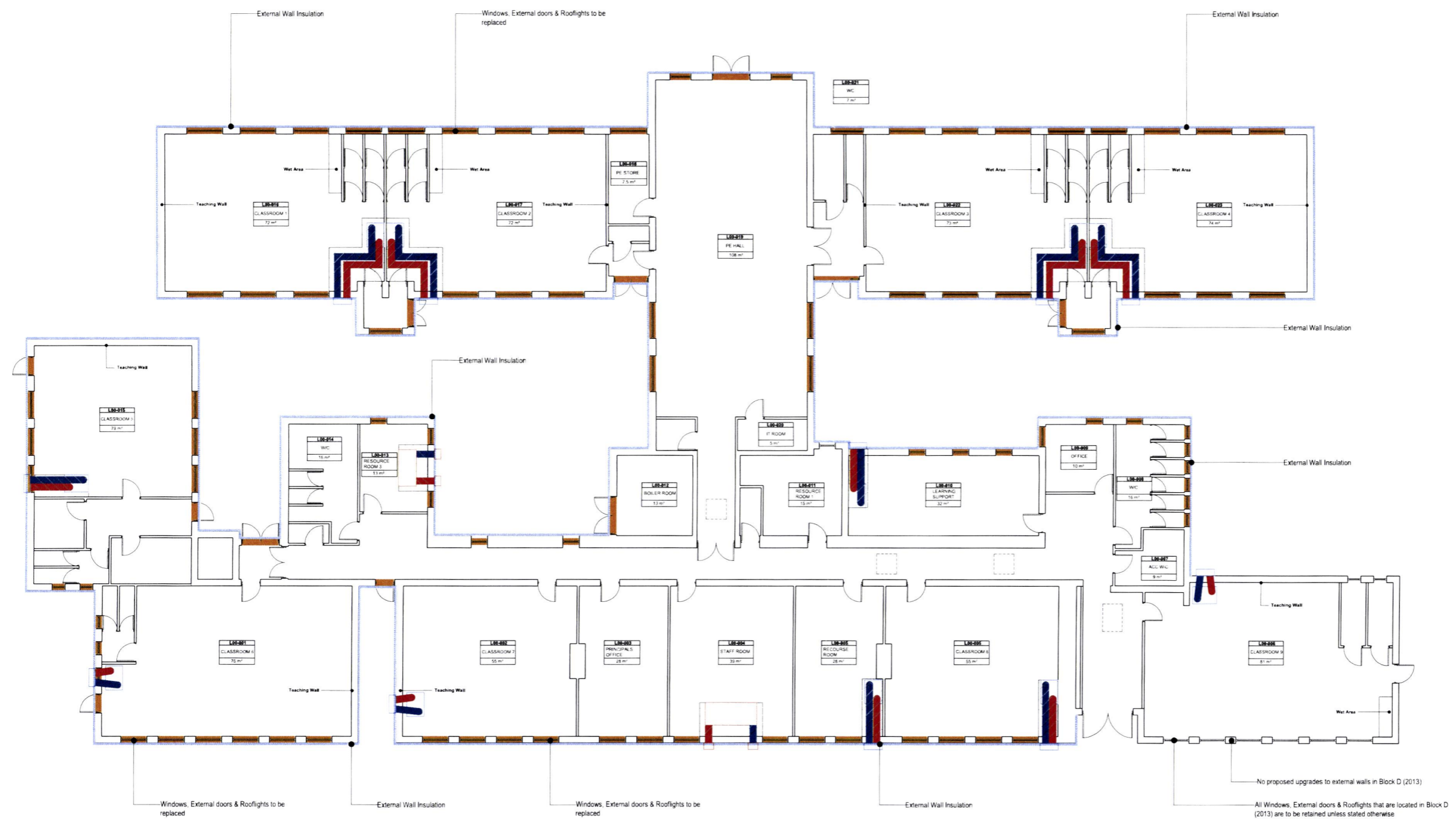
DRAWING TITLE
Roof Plan

PURPOSE
Planning Section 5

SCALE
1:100

DRAWN	DATE	CHECKED	APPROVED
JW	17 December 2024	EM	EM

1 ROOF PLAN
Scale: 1:100



KEY

	External Wall Insulation
	Windows, External doors & Rooflights to be replaced
	Floor Standing MVHR Unit
	Ceiling Mounted MVHR Unit
	Extent of new bulkheads

Purpose/Rev	Date	Description	JW	EM	DR	CH	AP
P3	17-12-2024	ISSUED FOR PLANNING SECTION 5					

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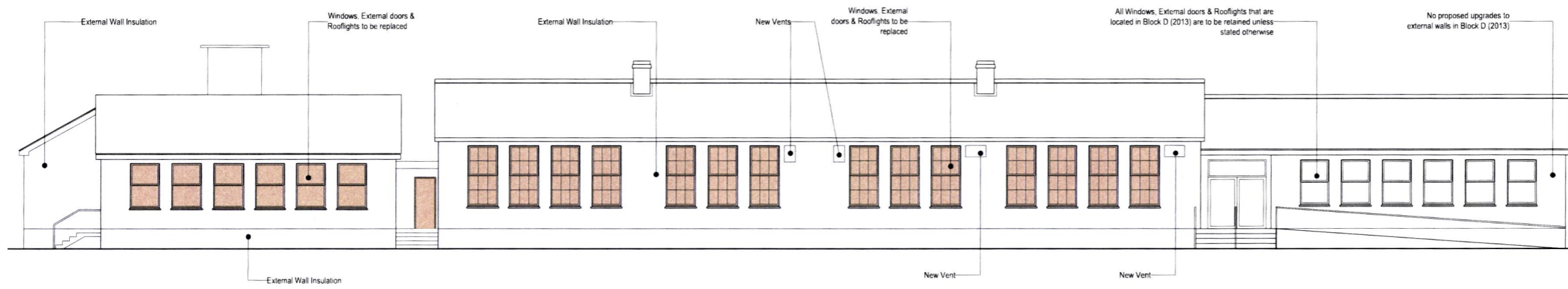
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DRAWING TITLE
Ground Floor Plan



PURPOSE	SCALE
Planning Section 5	1:100

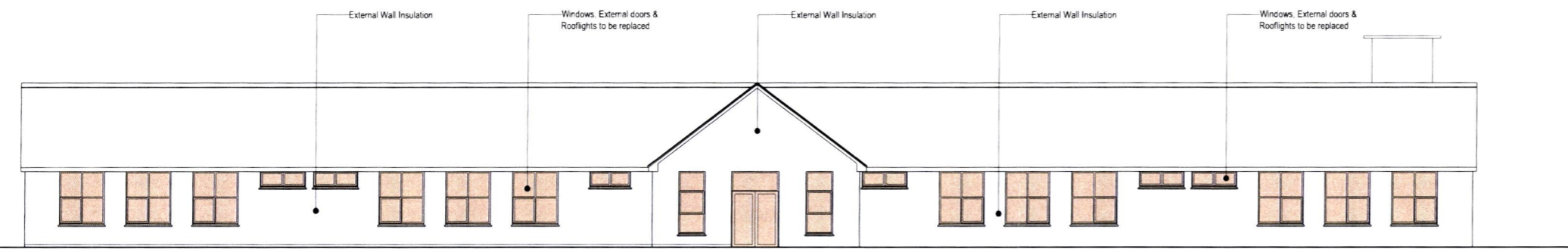
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JW	17 December 2024	EM	EM

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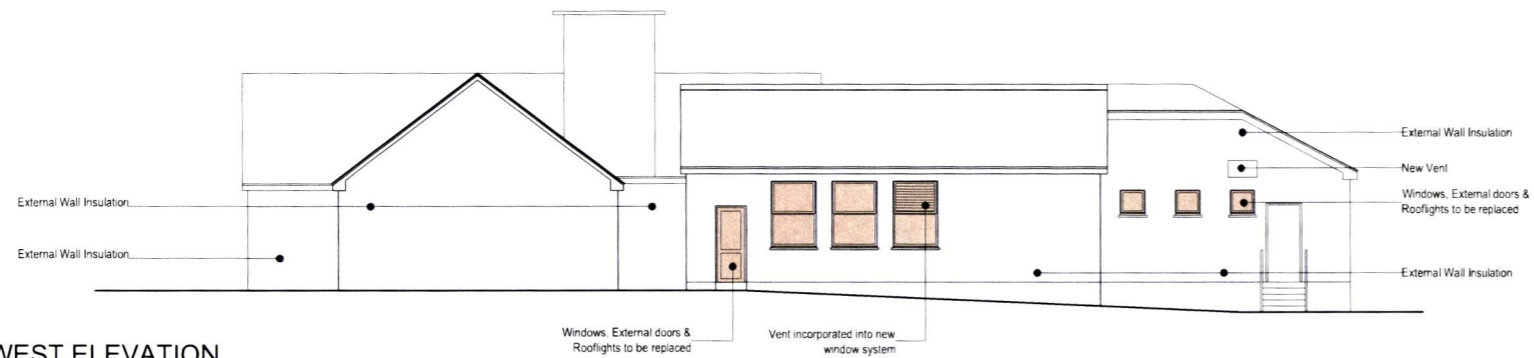


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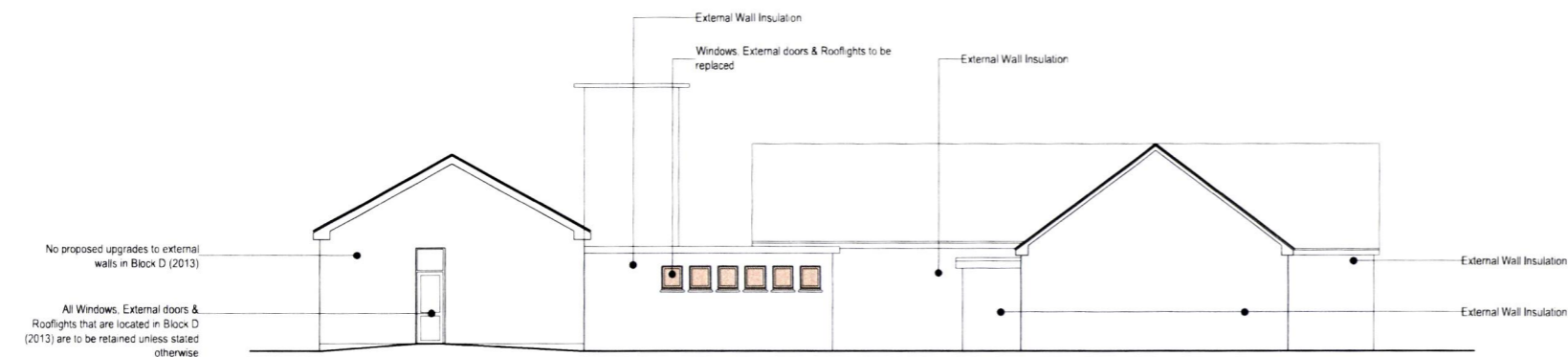
KEY	
	External Wall Insulation
	Windows, External doors and rooflights to be replaced



2 **NORTHEAST ELEVATION**
Scale: 1:100



3 **NORTHWEST ELEVATION**
Scale: 1:100

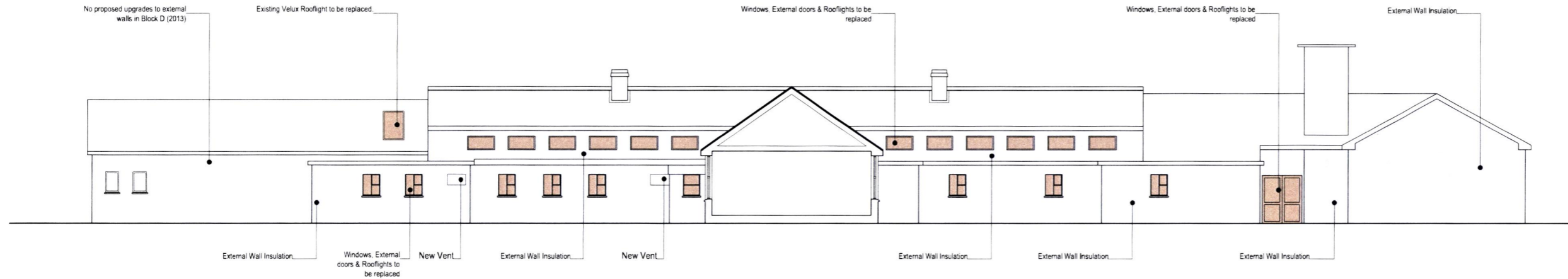


4 **SOUTHEAST ELEVATION**
Scale: 1:100

Purpose/Rev.	Date	Description	DR	CH	AP
P3	17-12-2024	ISSUED FOR PLANNING SECTION 5	JW	EM	EM

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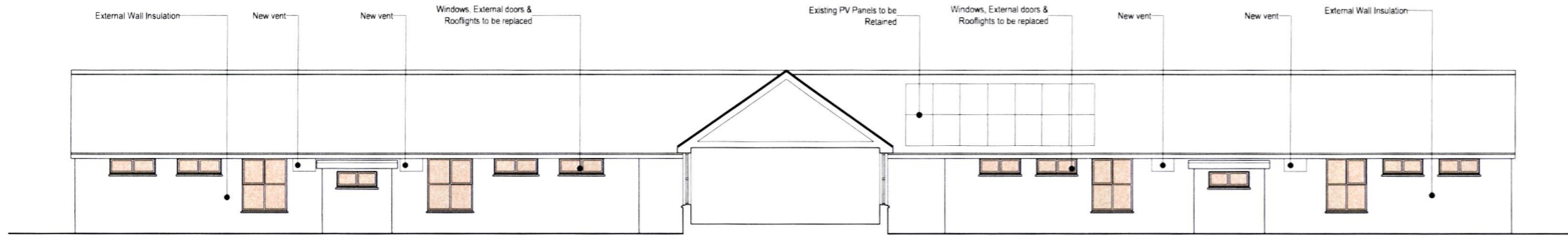
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PROJECT Camew National School					
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PURPOSE Planning Section 5				SCALE 1:100	
DRAWN JW	DATE 17 December 2024	CHECKED EM	APPROVED EM		



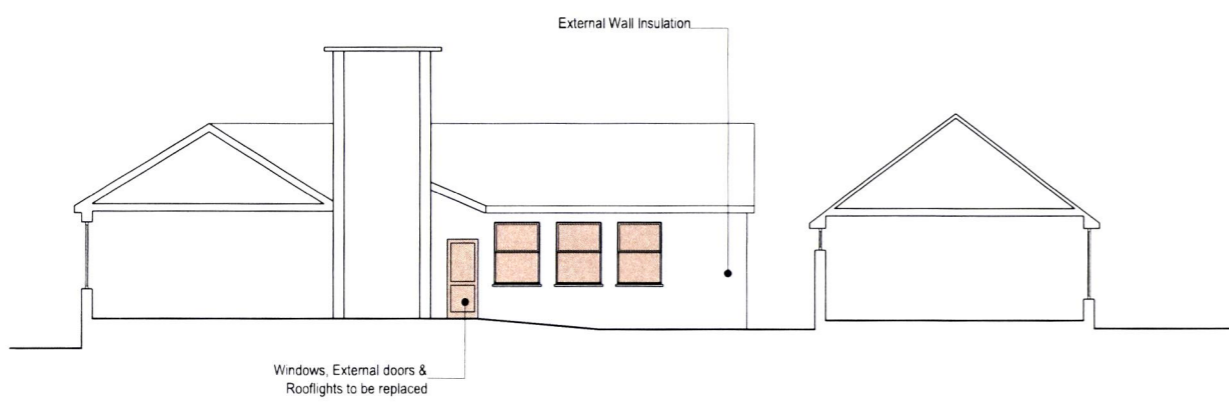
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Scale: 1:100

KEY

	External Wall Insulation
	Windows, External doors and rooflights to be replaced



2 SOUTHWEST COURTYARD ELEVATION/SECTION
Scale: 1:100



3 NORTHEAST COURTYARD ELEVATION/SECTION
Scale: 1:100

P3	0	17-12-2024	ISSUED FOR PLANNING SECTION 5	JW	EM	EM
Purpose/Rev	Date	Description	DR	CH	AP	

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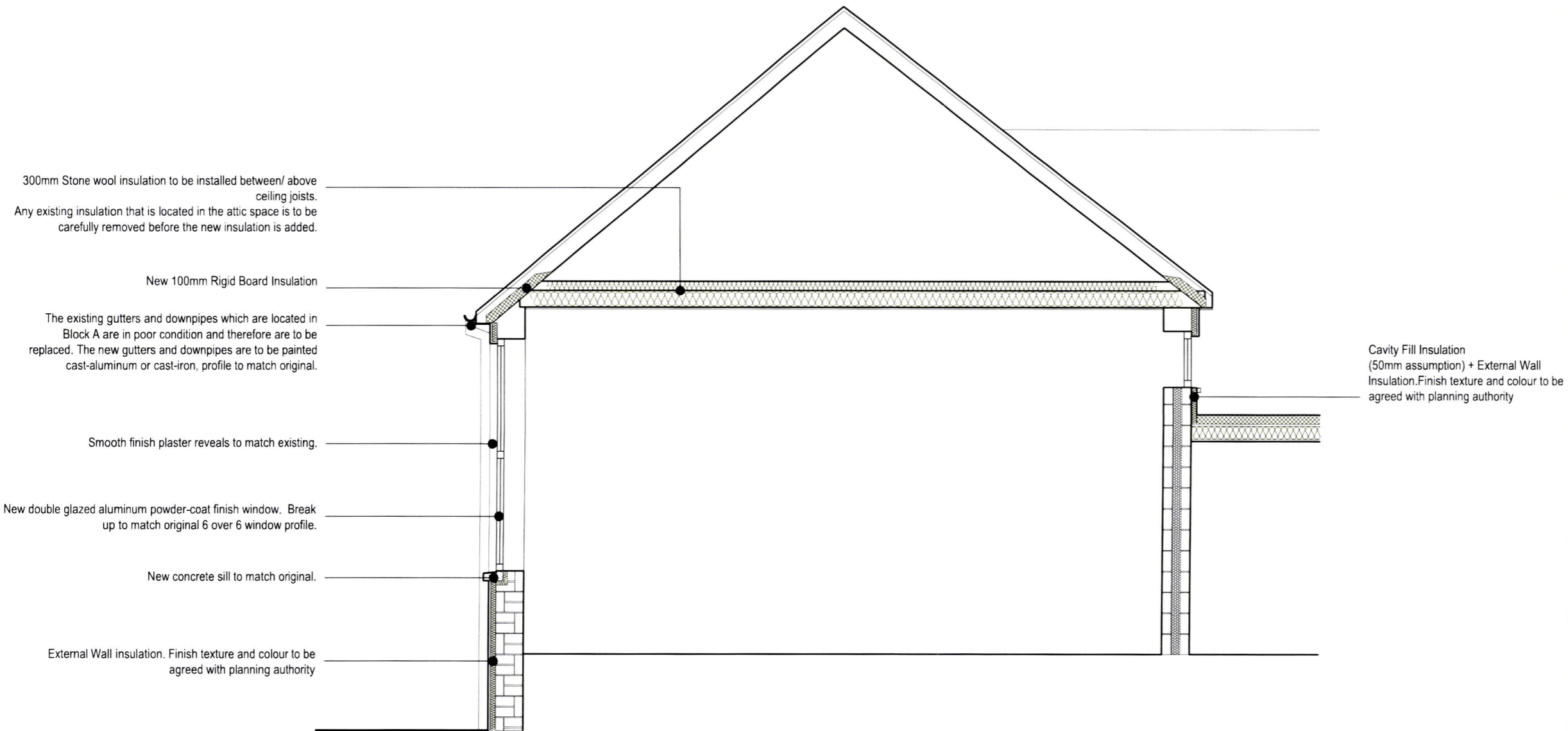
PRJ No.	ORIGINATOR	VOLUME	LEVEL	TYPE	DISCIPLINE
2410	MA	ZZ	ZZZ	DR	AR

DRAWING No.	PURPOSE CODE	REVISION
2001	P3	0

DRAWING TITLE
Elevations - Sheet 2

PURPOSE	SCALE
Planning Section 5	1:100

DRAWN	DATE	CHECKED	APPROVED
JW	17 December 2024	JW	EM



Purpose	Rev.	Date	Description	DR	CH	AP
P3	0	17-12-2024	ISSUED FOR PLANNING SECTION 5	JW	EM	EM

NOTES

Do not scale from this drawing. Work to figured dimensions only. All dimensions to be checked on site. Architect to be notified of any discrepancies. If no authorization signature or initials are present the drawing is for REFERENCE ONLY. This drawing is NOT for construction unless marked "CONSTRUCTION"

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CLIENT
Department of Education

PROJECT
Carnew National School

PROJ No.	ORIGINATOR	VOLUME	LEVEL	TYPE	DISCIPLINE
2410	MA	ZZ	ZZZ	DR	AR

DRAWING No.	PURPOSE CODE	REVISION
3000	P3	0

DRAWING TITLE
Section - Block A

PURPOSE	SCALE
Planning Section 5	1:50

DRAWN	DATE	CHECKED	APPROVED
JW	17 December 2024	EM	EM

1 Section - Block A
Scale: 1:50